

WSC Building Plan Approval Summary Subject to Requirements

Job Address:	LOT 3 NO. 97-115 RIVER ROAD GREENWICH NSW 2065
Building/Structure Description:	Seniors Living South & North
Sydney Water Tap-In Reference:	1937638
Date Approval Issued:	21/08/2024
Architectural Site Plan Revision:	P23
Structural Engineers Revision:	I

Mandatory Inspections Applicable:

Footings/Piers/Foundations* (Including excavation of pool area, if applicable)	Yes
Concrete Encasement*	No
Junction Relocation Required	No
Pre-Construction CCTV Required	No
Post-Construction CCTV Required	No

***Concrete Encasement & Footings/Piers/Foundations/ Pools are to be inspected prior to concrete pouring and MUST be inspected by Opal Water Management Pty Ltd.
*48hrs notice is required to confirm your desired inspection time.**

Contact Number for Inspections: 0415 671 467

Failure to organise an inspection prior to works being completed on site will result in this project being closed within Sydney Water's system as "non-compliant". This may cause issues in future with obtaining compliance certificates or when selling the property.

**SYDNEY WATER
BUILDING PLAN APPROVED -
SUBJECT TO REQUIREMENTS**

EITHER: Dolfin No: N/A

Quick Check Ref No: N/A

OR: Dolfin No: NOT REQUIRED IF

Sydney Water Tap in™ Ref No: 1937638

e-Developer Case No: N/A

Property Location

Street No: 97-115

Lot No: 3

Street Name: RIVER ROAD

Suburb: GREENWICH

Building/Structure Description: Seniors Living South & North

Building Plan No: DD-SW-0101

Engineers Plan No: SY210042

Proposed building/structure is **APPROVED** to construct **ADJACENT TO** a Sydney Water asset, subject to the following requirements:
(NB. Delete non applicable requirements)

1. The foundations/piers are to be founded below the zone of influence (OR the following to be used for lightweight structures) The foundations/footings are to be no less than a minimum of 600mm horizontal distance and 750mm vertical distance from the outside edge of the asset to the nearest face of the foundations/footings
2. No part of the building/structure or its foundations to be less than a minimum 0.90 metre, horizontal distance from the outside edge of the asset.
- ~~3. No part of the swimming pool or its foundations to be less than a minimum metre, horizontal distance from the outside edge of the asset to the outer edge of the pool.~~
4. No part of the above-ground building/structure to be less than 1m (for MH on mains up to DN300)/600mm(for MS, Lampholes, RP on mains up to DN300) horizontal distance from outside edge of any Sydney Water structure.
5. No part of the below ground building/ structure/foundations to be less than 600/900mm horizontal distance from outside edge of any Sydney Water Structure. (900mm required for piercing solutions)
- ~~6. No part of any swimming pool (excluding coping) is to be less than 2m horizontal distance from outside edge of any Sydney Water structure.~~
7. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
8. All foundations/piers are to be founded to below the zone of influence or to solid rock.
- ~~9. Indemnity letter to be signed by owner/s of property and returned to Water Servicing Coordinator prior to issue of building plan approval.~~
- ~~10. Concrete encase approximately metres of asset. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.~~
- ~~11. Concrete encasement must extend a minimum of 1m past the external walls of the building/structure.~~
- ~~12. Minimum of mm vertical clearance between top of concrete encasement to underside of concrete slab.~~
- ~~13. Property connection point (junction) to be inserted under Minor Works Agreement.~~
- ~~14. All works are to be completed in accordance with Case No.~~

Warning - Document current at time of printing or downloading.

SPECIAL REQUIREMENTS

(a) "A requirement of this approval is that this project requires a Pier Inspection to be carried out by Opal Water Management P/L. We are required by Sydney Water to attend site at the time of these particular stages of construction to ensure that the onsite works comply with the approval as granted herein.

Please ensure 48hrs (2 working days) notice is given to ensure our field team can attend your site at the time you require. (PLEASE NOTE: Failure to supply sufficient notice may result in project delays OR additional cost to facilitate an inspection time). Please contact 0415 671 467 to book your inspection."

(b)

(c)

NOTE:

Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.

****In order to obtain your Sydney Water satisfactory compliance letter (Building over/adjacent to sewer letter), please refer to the below Sydney Water link detailing how to obtain your certificate. ****

<https://www.sydneywater.com.au/SW/your-home/moving--renovating---building/buying--selling-or-moving/Certificates-documents-diagrams/index.htm>

APPROVED BY

WSC Company Name: Opal Water Management Pty Ltd

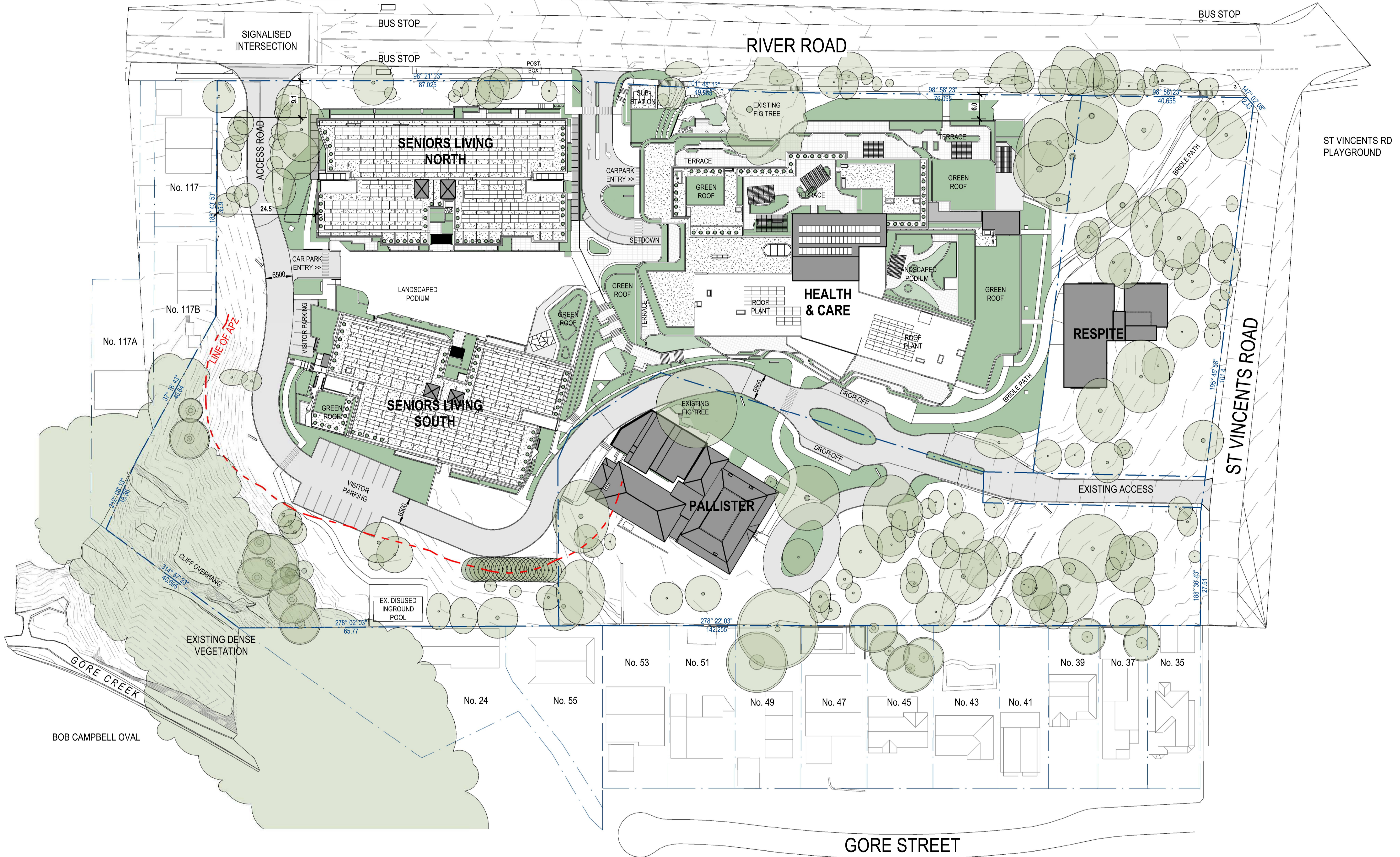
Name of Key Personnel: Greg Houston

Signature of Key Personnel:



Date: 21/08/2024

Warning - Document current at time of printing or downloading.



Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS
 Ref NO: 1937638 Date: 21.08.24

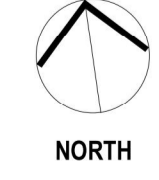
New South Wales Government
 Independent Planning Commission
 Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No.: SSD-13619238 Signed: MF
 Granted on: 28 March 2024 Sheet no: 1 of 79

APPROVAL ISSUE
 NOT FOR CONSTRUCTION



1: 500 @ A1
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 NSW NOMINATED ARCHITECT: ANDREW MASTERS NSW ARB No. 9037

REV	DATE	DETAILS	INITIALS
P23	2023.06.27	RESPONSE TO SUBMISSIONS	NAH
P22	2022.12.21	RESPONSE TO SUBMISSIONS	AMac
P21	2022.08.26	FINAL UPDATES TO EIS FOR LODGEMENT	NAH
P20	2022.05.23	FINAL EIS LODGEMENT ISSUE	NAH
P19	2022.05.06	EIS LODGEMENT ISSUE	NAH



LEGEND - SITE PLAN

	SITE BOUNDARY
	STAGING LINE
	DEVELOPMENT AREA - SIMPLIFIED ENVELOPE (TO EXTERNAL FACE OF BUILDING OR TERRACE)
	(SENIORS LIVING)
	DEVELOPMENT AREA - SIMPLIFIED ENVELOPE (TO TRAFFICABLE AREA COVERED BY THE LEVEL ABOVE)
	(HEALTH & CARE)

SYDNEY
 (02) 9261 8333
 LEVEL 2, 231-233
 COMMONWEALTH ST
 SURRY HILLS 2010, NSW
 www.bickertonmasters.com.au



CLIENT:
 HammondCare
 PROJECT: 01605
 GREENWICH HOSPITAL
 REDEVELOPMENT
 RIVER RD, GREENWICH

REVISION: DRAWING No:
P23 DD-SW-0101
 DATE:
 DRAWING TITLE:
PROPOSED SITE PLAN
 DRAWN: CHECKED: SCALE: 1: 500 @A1
 NSW NOMINATED ARCHITECT: ANDREW MASTERS (9037) 27/06/2023 8:41:32 AM

Building plan assessment application

Application number: 1937638
Property address: 97-115 River Rd Greenwich NSW 2065
Lot details: Lot 3, Deposited Plan 584287
Property Number: 3242561

23/07/2024

Dear Jessica Obreque

Your building plan assessment application requires

FURTHER ASSESSMENT

The proposed location of one or more of your buildings or excavation works may impact our assets. You will need to engage a Water Servicing Coordinate to complete your assessment.

Please read the details below to understand the reasons why your application was referred.

REASONS

Application automatically referred by system

NEXT STEPS

1. Engage a Water Servicing Coordinator to complete your assessment
A list of Water Servicing Coordinators is available on our website www.sydneywater.com.au and go to the plumbing, building and developing page for a list of water servicing coordinators.
2. Take this referral to the Water Servicing Coordinator so they can complete the application for you.
3. You will need to use the following Sydney Water reference number when you contact the Water Servicing Coordinator .

REF-138195752

The Water Servicing Coordinator will charge for this service. Make sure you discuss prices with them before you select one as their prices can vary.

Your Water Servicing Coordinator may determine that your Building Plans need to be submitted to us for detailed review before any construction may commence. You will be required to pay us for our time to review your application. Your Water Servicing Coordinator will provide you with details on these costs before submitting your application

ANY QUESTIONS?

Email us
swtapin@sydneywater.com.au

Call us
1300 082 746

STRUCTURES

The structures and information you supplied are displayed below.

Structure(s) that may impact Sydney Water infrastructure

Structure 1	Seniors Living North	62.86 m x 36.5 m x 1.0 m
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Please refer to the Appendix for list of negative impacts.

Structure(s) that will not impact Sydney Water infrastructure

Structure 2	Seniors Living South	64.28 m x 34.74 m x 1.0 m
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Your building plan application needs further assessment
Structure 1 of 2: Seniors Living North

Application reference number: 1937638
Property address: 97-115 River Rd Greenwich NSW 2065
Lot details: Lot 3, Deposited Plan 584287
Property Number: 3242561

This structure may impact Sydney Water infrastructure.



Your building plan application needs further assessment
Structure 2 of 2: Seniors Living South

Application reference number: 1937638
Property address: 97-115 River Rd Greenwich NSW 2065
Lot details: Lot 3, Deposited Plan 584287
Property Number: 3242561

This structure will not impact Sydney Water infrastructure.



Appendix A

List of possible impacts to Sydney Water infrastructure requiring further assessment.

Structure 1	Seniors Living North	62.86 m x 36.5 m x 1.0 m
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1. Main within work site. Sewer Main; Asset Number: 3593912.

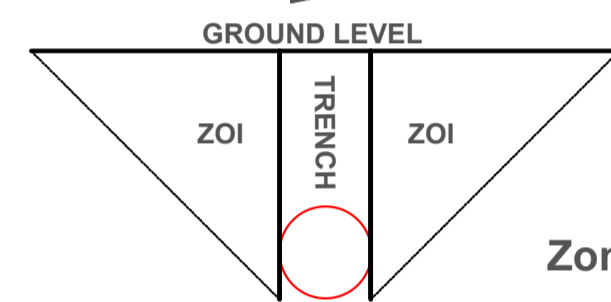


Linetypes

- Centerline of Sewer
- Centerline of Encased Sewer
- Centerline of Relined Sewer
- Minimum Horizontal Clearance from Centerline of sewer
- Minimum Horizontal Clearance from Structures
- Zone of Influence

Ties & Abbreviations

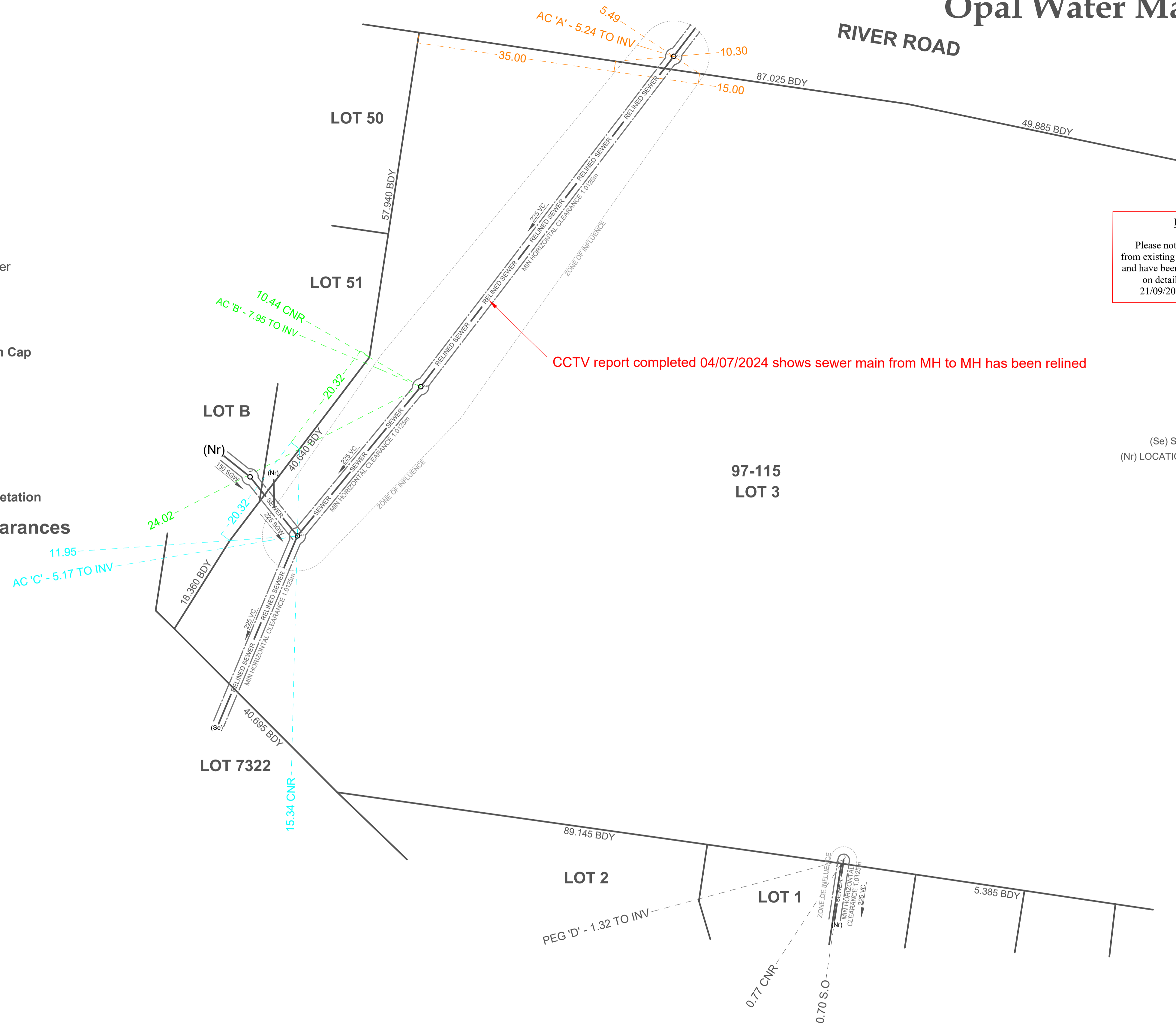
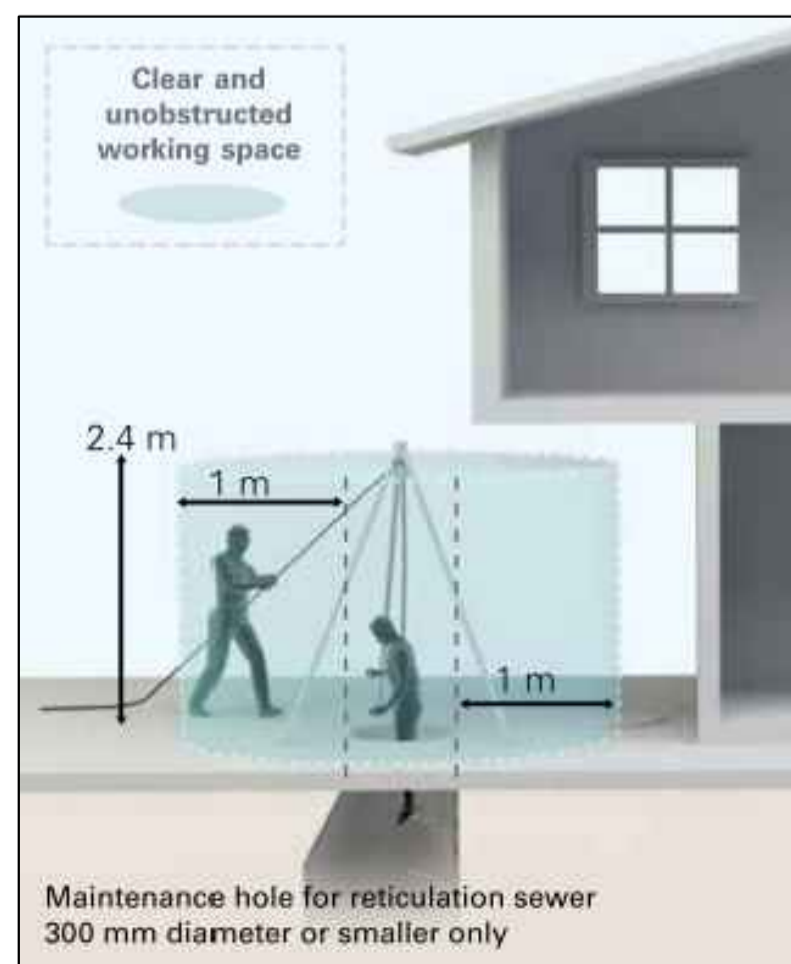
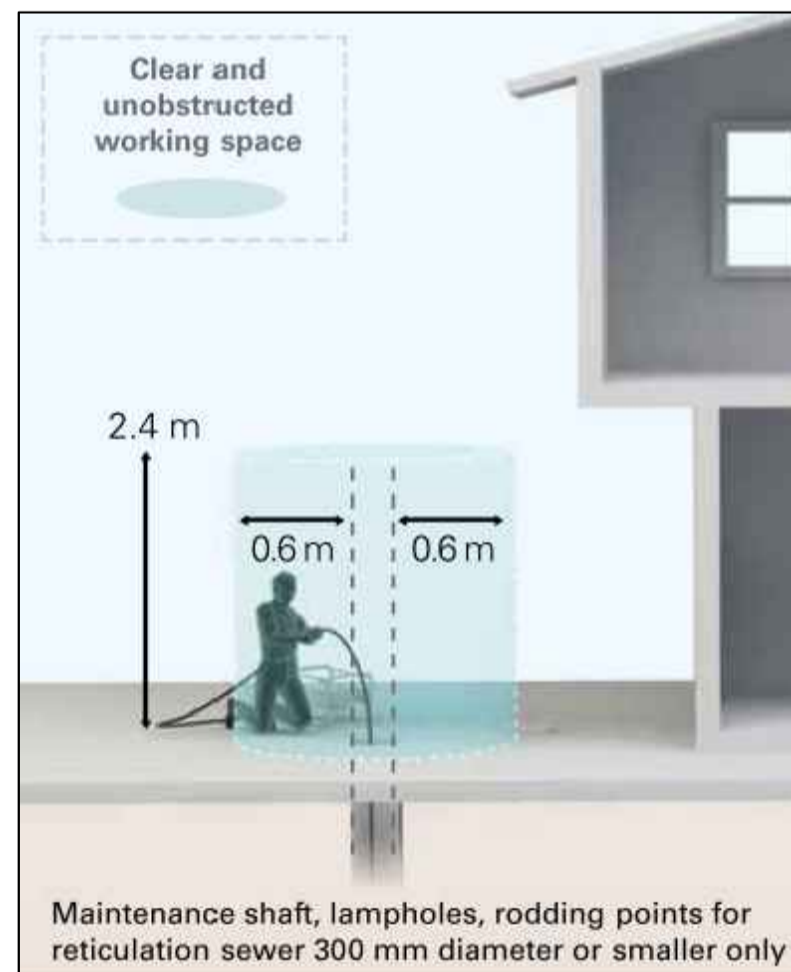
Square Off Tie	Corner Tie	Sewer Inspection Cap
S.O	CNR	S.I.C
Flow Direction	Drop Junction	End of Pipe
Asset No.	D/J	E.O.P



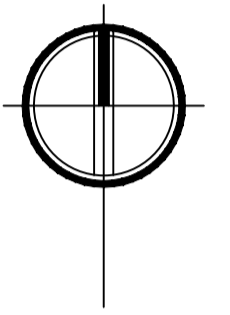
Zone of Influence Interpretation

Maintenance Structures & Min Clearances

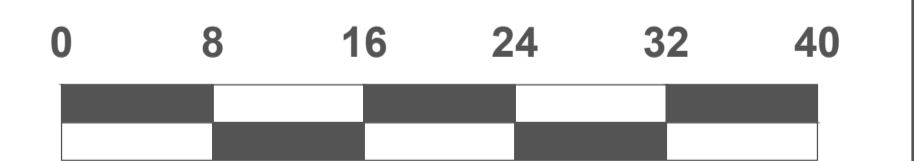
Min Clearance: 0.90m Clearance
 Horizontal Clearance
 DN150 = Min Clearance 0.975m
 DN225 = Min Clearance 1.0125m
 DN300 = Min Clearance 1.05m



IMPORTANT NOTICE
 Please note all Sewer location ties are shown from existing fence's located onsite at time of survey, and have been adjusted to property boundaries based on detailed survey provided by TSS, dated 21/09/2022, job 220546, plan no. 220546-1.



(Se) SEWERS LOCATION AS PER SYDNEY WATERS RECORDS.
 (Nr) LOCATION OF SEWER NOT REQUIRED FOR BUILDING PLAN APPROVAL



I, Greg Houston of Opal Water Management Pty Ltd, being accredited to carry out a Service Protection Report, certify that the information shown on the Report has been prepared in accordance with the relevant instructions and accept full responsibility for the accuracy of the information on the Report

For the purpose of this report bdy (boundary) refers to fixed structures (fence, retaining walls, buildings etc) used to tie location of the Sydney Water assets, and may not always correspond to the property boundary (as identified on site plan).

For all enquiries relating to the SPR, please contact bosbas@opalwm.com.au

DO NOT SCALE.

Always reference dimensions shown in preference to scale when reading this document.

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This document is prepared in accordance with Sydney Water Guidelines, procedure & instruction. For more information please visit: www.sydneywater.com.au/Publications/FactSheets/buildingRenovatingInfo.pdf

SERVICE PROTECTION REPORT

CLIENT: JHA CONSULTING ENGINEERS		PROPERTY ADDRESS: RIVER RD 97-115 GREENWICH HOSPITAL REDEVELOPMENT GREENWICH	
SCALE	1:400@A1	PIPE SIZE	Ø225 mm
STRATA	CLAY/ROCK	PIPE TYPE	VC
LOT	3/4	DP	584287
CHECKED BY	GH	ISSUE	B
DATE	15/08/2023	LOCATION METHOD	ELECTRONIC LOCATION + VISUAL INSPECTION OF STRUCTURE